

# INDUSTRY FOCUS: BUILDING EXPERTISE AND INDUSTRY SPECIALIZATION



“Demand for more tailored and deep expertise from their insurance advisors.”

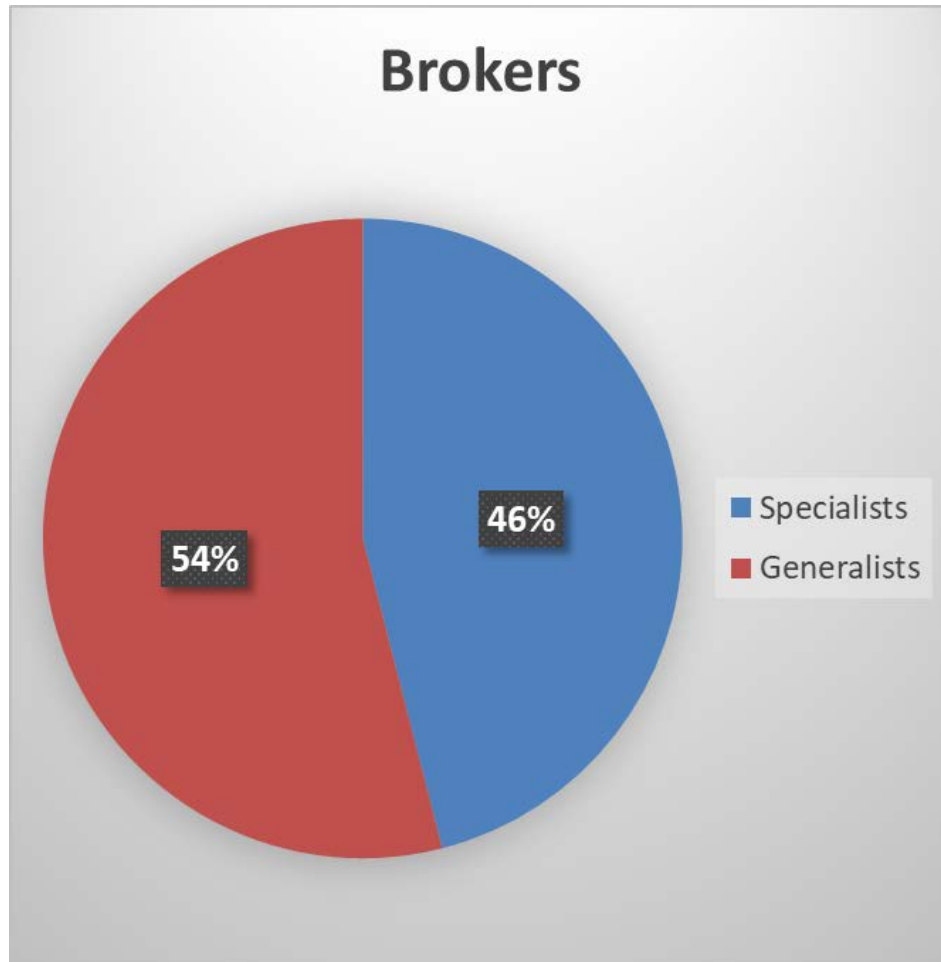
- “Broker 2020: Leading from the front in a new era of risk” - PWC



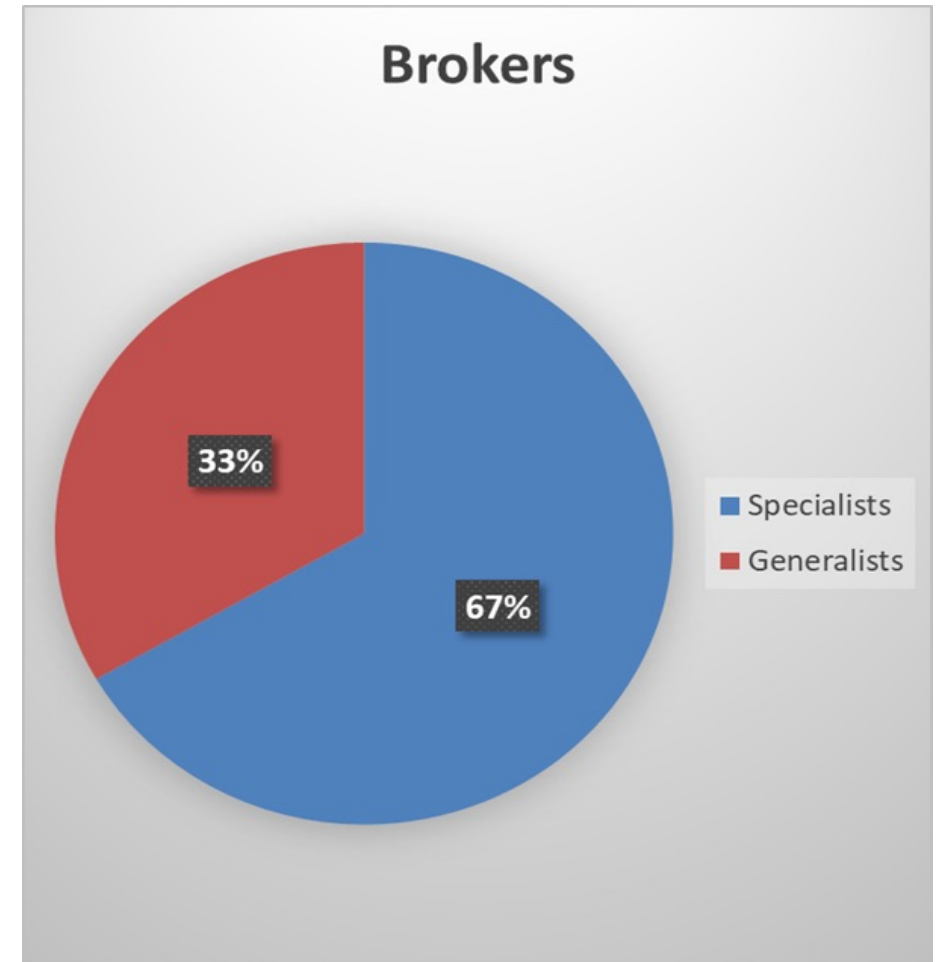
“Specialization is one of the clearest drivers of sustained organic growth.”

-Bobby Reagan  
Reagan Consulting





Historical



Present













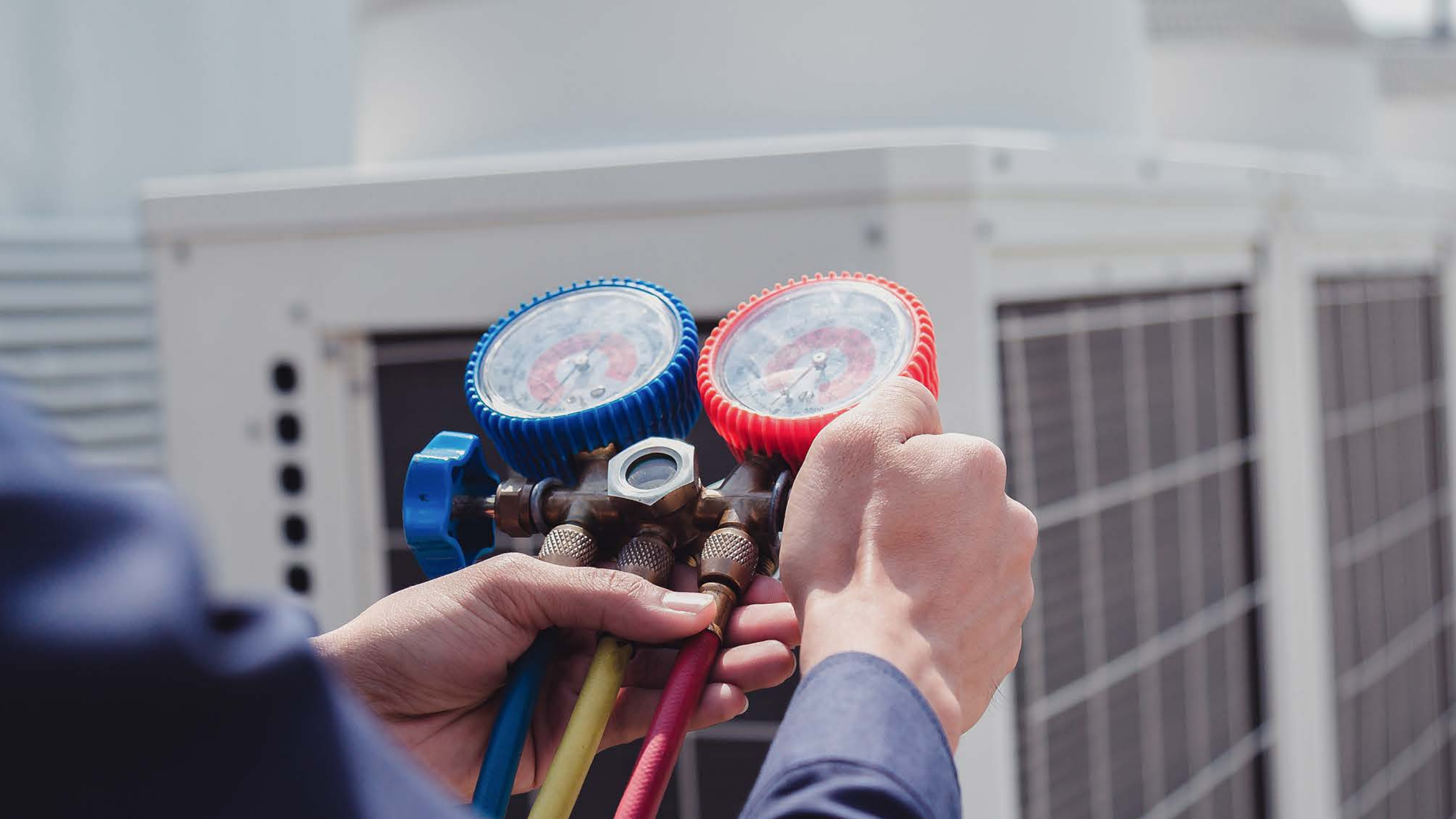




# Construction as a Niche













Expected Losses	(E) Exp Prim Losses	(F) Act Exc Losses (H - I)	(G) Ballast	
619,622	186,304	508,071	90,389	
Losses	Stabilizing Value		Ratable Excess	
	$C * (1 - A) + G$		$(A) * (F)$	
348	393,712		152,421	
304	$C * (1 - A) + G$		$(A) * (C)$	
	393,712		129,995	
	FLARAP	SARAP	MAARAP	
	1.08			

The Experience Mod  
Used as a Bid Qualifier





# EXPERIENCE MODIFICATION RATE

“Subcontractors on this contract must have an effective EMR less than or equal to 1.10.”



# TURNER CONSTRUCTION COMPANY PROJECT SAFETY PROGRAM

## “3.2 Experience Modification Factor

All contractors and subcontractors agree to subcontract work only to subcontractors (all tiers) with an Experience Modification Factor of 1.0 or less.”

# **Additional Insured Endorsements**



## **EXHIBIT F**

□

### **INSURANCE REQUIREMENTS**

Contractor shall procure and maintain the following insurance coverage prior to commencement of the Work until completion of the Work or longer, as may be required by the terms of the Contract:

1. **Commercial General Liability** insurance including coverage for bodily injury, property damage and personal and advertising injury with minimum limits of \$1,000,000 per occurrence, \$2,000,000 products/completed operations aggregate, and \$2,000,000 aggregate, written on an occurrence basis on the most recent ISO Commercial General Liability Policy form or equivalent. [REDACTED] Inc. shall be named as additional insured under such general liability coverage and such additional insured coverage for OWNER shall be primary insurance and not excess over, or contributing with, any insurance purchased or maintained by OWNER or other "additional insureds."

The products/completed operations coverage shall be maintained for two (2) years after completion of the work and shall specifically cover as "insured contracts" Subcontractor's indemnity obligations under this Contract.

**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

**ADDITIONAL INSURED - OWNERS, LESSEES OR  
CONTRACTORS - AUTOMATIC STATUS WHEN  
REQUIRED IN CONSTRUCTION AGREEMENT WITH YOU**

A person's or organization's status as an additional insured under this endorsement ends when your operations for that additional insured are completed.

**COMMERCIAL GENERAL LIABILITY**

**CG 20 39 12 19**

**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

**ADDITIONAL INSURED - OWNERS, LESSEES OR  
CONTRACTORS - AUTOMATIC STATUS WHEN  
REQUIRED IN WRITTEN CONSTRUCTION AGREEMENT  
WITH YOU (COMPLETED OPERATIONS)**



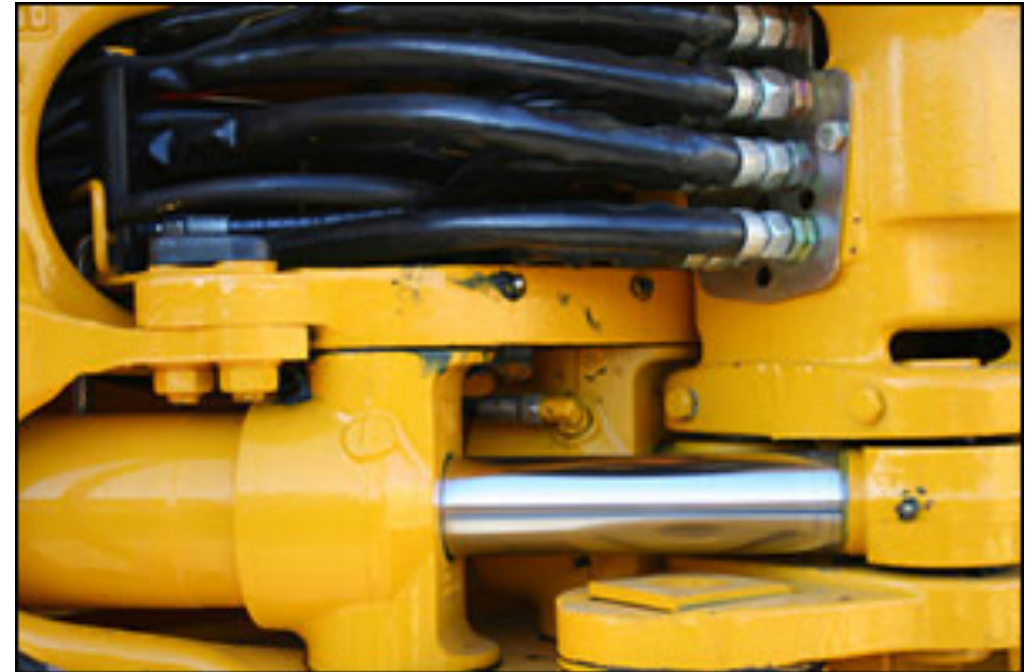
# POLLUTION

An HVAC system is installed improperly causes moisture and ultimately mold to spread throughout a residential building, causing bodily injury and property damage



# POLLUTION

Construction equipment on a project site has hydraulic fuel lines cut by vandals, causing fuel to leak out and contaminate the soil.





# POLLUTION

A contractor punctures an underground storage tank during excavation, causing the product to spill into the soil and groundwater.



# Design and other professional liability exposures



# Manufacturing as a Niche





Property Limit

Utilities: Off- Premises

Business Income

Dependent Properties

# PRODUCT RECALL





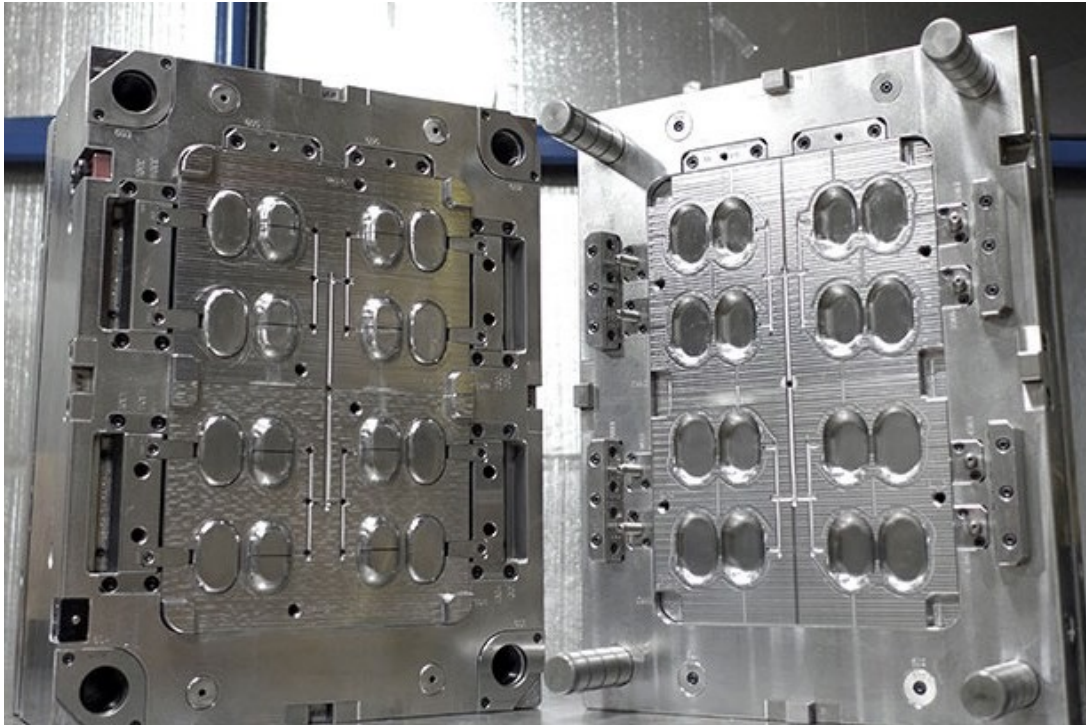
# Contract Penalties



# Cargo in Transit

## Free On Board (FOB)





# Dies and Molds





Robots meets or will  
meet ANSI/RIA Robotic  
Safety Standards



# Design and other professional liability exposures





# Retail as a Niche

Property Limit

Utilities: Off- Premises

Business Income

Dependent Properties

# Cyber





# Notification Laws and Consumer Protection



# Lease Review

## COMMERCIAL LEASE AGREEMENT

This Lease Agreement is made this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,  
by and between \_\_\_\_\_ [name of lessor],  
of \_\_\_\_\_ [street address],  
State of \_\_\_\_\_, hereinafter referred to as "Lessor", and  
\_\_\_\_\_, [name of lessee], of \_\_\_\_\_ [street address],  
State of \_\_\_\_\_, hereinafter referred to as "Lessee", collectively  
referred to herein as the "Parties";

WITNESSETH: In consideration of One Dollar and other valuable consideration paid to the Lessor by the Lessee and in consideration of the promises and covenants contained herein, the Parties hereby agree as follows:

1. **DESCRIPTION OF LEASED PREMISES:** The Lessor hereby agrees to lease to the Lessee, and the Lessee does hereby lease from the Lessor with full right, title and enjoyment thereto, the following described premises:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
the "Premises".

2. **USE OF LEASED PREMISES:** The Lessor is leasing the Premises to the Lessee and the Lessee is hereby agreeing to lease the Premises for the following use and purpose:

\_\_\_\_\_  
\_\_\_\_\_  
Any change in use or purpose the Premises other than as described above shall be upon prior written consent of Lessor only.

3. **TERM OF LEASE:** The term of this Lease shall be for a period of \_\_\_\_\_ (\_\_\_\_\_) years \_\_\_\_\_ (\_\_\_\_\_) months commencing on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ and expiring at Midnight on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. ("Initial Term")

4. **OPTION TO RENEW:**

(Check One)  
☐ - Lessee may have the right to renew the Lease and shall exercise such renewal option by giving written notice to Lessor not less than 60 days prior to

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